

SITE STATISTICS

| | SQ. FEET | SQ. FEET |
|--|-------------------------|--------------|
| SITE AREA 95 x 150 | 14,250 | |
| ALLOWED BLDG COVERAGE | 30% | 4,275 |
| ALLOWED IMPERVIOUS COVERAGE | 40% | 5,700 |
| HOUSE "LIVING" FOOTPRINT | | |
| EXISTING HOUSE | 1,028 | |
| ADDITION TO HOUSE | 1,248 | |
| GARAGE | 864 | |
| SUB-TOTAL PROPOSED BLDG COVERAGE | 73.5% of Allowed | 3,140 |
| DECK 955 SQ.FT. (NOT COUNTED - DRAINS TO TURF) | 0 | |
| FRONT CONC. WALK | 242 | |
| REAR CONC. WALKS | 70 | |
| TEMPORARY RAMP (NOT COUNTED DECK CONST. @ 100 SQ.FT.) | 0 | |
| GARAGE CONC. PARKING APRON | 442 | |
| FUTURE PATIO PAVING (NOT SHOWN ON DWG.) | 750 | |
| EXISTING SHED @ 96 SQ.FT. (NOT COUNTED TO BE REMOVED AFTER GARAGE BUILT) | 0 | |
| SUB-TOTAL PROPOSED IMPERVIOUS | 81.5% of Allowed | 4,644 |

UPDATED 04-28-2009

Ground Water Recharge System Description:

Proposed: Collect and store roof water for garden use, discharge excess in simple Ground Water Recharge system.

House front (street side) roofs drain as is existing, to gutters, splash blocks and then to natural grade and then to municipal storm water system with inlets along Walnut Avenue frontage. New garage roofs to collect rain water into gutters, then into "rainwater collection barrels." Overflow will run to natural grade and, as is existing, to municipal storm water system along Walnut Avenue frontage.

House rear roofs, totaling 1,462 sq.ft., drain to interior side of property. Proposal is to collect rear roof water into gutters, then via downspouts to 4" PVC piping discharging into a simple 1,000 gallon concrete holding tank (standard septic tank from Modern Concrete). Tank to have manhole extension to grade, and overflow pipe. In tank, install submersible pump serving dedicated building mounted faucet. See Owner for controls and electrical requirements.

When holding tank is full, excess water will flow from holding tank to 2-outlet diverter box, and then into two (2) "level" recharge trenches. Trench lines to have 18" of topsoil cover, work system depths back from this cover requirement. Each trench to be 40 ft. long. The trench to be 18" by 18" (width of backhoe bucket). Line trenches with "filter fabric," sufficient to wrap all sides, then fill one-half depth with 1" clean stone, locate 4" ABS perforated (perforations down) "elephant pipe" in center of trench. Complete filling with stone, finish wrapping with filter fabric. Cover with topsoil, seed and establish turf.

If system is filled to capacity, then excess water will flow out overflow pipe in septic tank "vent hole." As is existing, overflow will discharge to natural grade, then to municipal storm water system along Walnut Avenue frontage.

DIMENSIONS: DO NOT SCALE DRAWINGS:

- ALL DIMENSIONS ARE GIVEN TO "FACE OF MASONRY" OR "FACE OF STUD". CHECK ALL DIMENSIONS BEFORE PROCEEDING. FOR "CLEAR" OPENINGS BETWEEN FINISHES, SUBTRACT FINISH THICKNESS FROM DIMENSIONS GIVEN. LOOK FOR THE CORRECT DIMENSIONAL INFORMATION, OR SEEK CLARIFICATION FROM THE ARCHITECT.

FIELD CHANGES:

- CHANGES: NEITHER CONTRACTORS OR THE ARCHITECT HAVE AUTHORITY TO MAKE IMPROMPTU CHANGES IN THE FIELD. ALL PROPOSED CHANGES OR SUBSTITUTIONS, WITHOUT EXCEPTION, SHALL BE SUBMITTED IN WRITING TO THE OWNER, WITH SUPPORT MATERIALS, FOR AUTHORIZATION.
- WHEN CHANGES AFFECT THE STRUCTURAL OR BUILDING SHELL, THOSE CHANGES SHALL BE DIRECTED TO THE ARCHITECT PROMPTLY IN WRITING FOR REVIEW AND APPROVAL.

LAWN RESTORATION

- RESTORE DISTURBED AREAS AS REQUIRED. RAKE LAWN AREAS CLEAN OF ALL STONES OR DEBRIS LARGER THAN 1" IN DIAMETER.
- SEED LAWNS WITH 50% / 50% MIXTURE OF RYE GRASS AND KENTUCKY BLUE GRASS. SEED SHALL BE FERTILE, THIS YEARS CROP. SEED AND ESTABLISH LAWNS AS SOON AS POSSIBLE. RESTORE ALL ERODED GRADED SURFACES IN ALL LAWN AREAS UNTIL LAWN IS ESTABLISHED AND SELF-PROTECTING.

RESIDENTIAL CODES

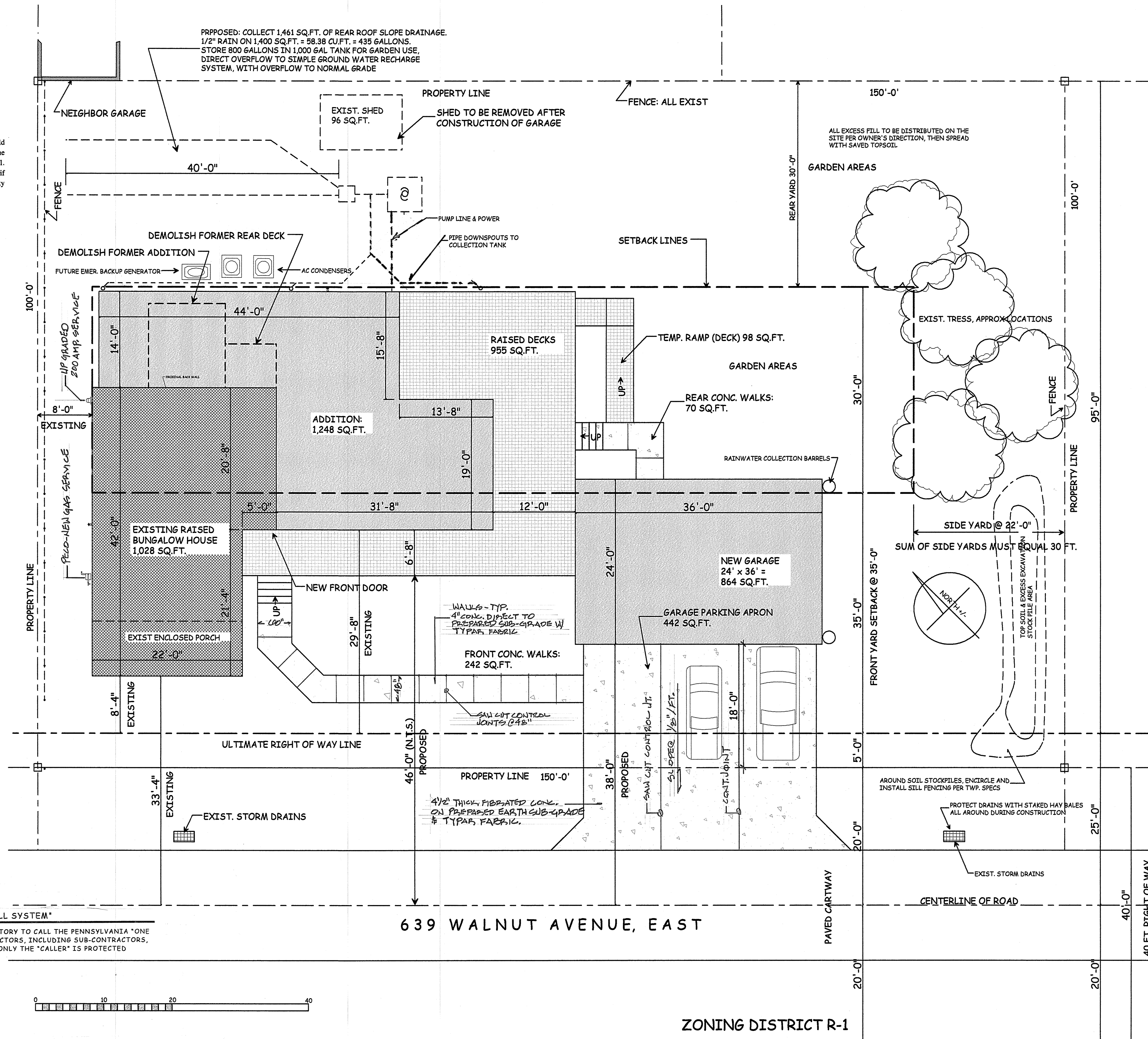
- CODES: ALL WORK SHALL COMPLY WITH THE CONTROLLING REGULATORY CODES. THESE DOCUMENTS (DRAWINGS) SHALL INCLUDE BY REFERENCE ALL STATE, MUNICIPAL AND OTHER REGULATORY CODES.
- CONTRACTOR(S) SHALL COMMUNICATE WITH THE MUNICIPALITY TO VERIFY REQUIRED TYPES AND FREQUENCY OF INSPECTIONS, AND SHALL SECURE ALL PERMITS, LICENSES, APPROVALS, AND INSPECTIONS REQUIRED DURING THE PROGRESS OF THE WORK.
- ALL CONTRACTORS AND TRADESMEN ARE EXPECTED TO BE CURRENT WITH THESE CODE AND HAVE COPIES ON SITE FOR REFERENCE AS REQUIRED. TO OBTAIN: INTERNATIONAL CODE COUNCIL, PUBLICATIONS, 4051 WEST FLOSSMOOR ROAD, COUNTRY CLUB HILLS, IL 60478-5795, 888-422-7233.
- FOR RESIDENTIAL WORK, THE CODES WHICH APPLY ARE:
 - INTERNATIONAL RESIDENTIAL CODE, 2006
 - INTERNATIONAL BUILDING CODE, 2006
 - ICC ELECTRICAL CODE, 2006 (UTILIZES NATIONAL ELECTRIC CODE STANDARDS)
 - INTERNATIONAL ENERGY CONSERVATION CODE, 2006
 - INTERNATIONAL PLUMBING CODE, 2006
 - INTERNATIONAL MECHANICAL CODE, 2006



Who Should Call?

All contractors, including sub-contractors, should make their own notification. The Act states that the person doing the work shall make the call. Homeowners should be aware they need to call if performing the work themselves. The only party protected by the notification is the caller.

ELEPHANT PIPE SHALL BE HANGAR CHANNEL-FLOW PIPE IN 4-INCH (100 MM) DIAMETER, OR EQUAL. PIPE SHALL MEET THE REQUIREMENTS OF ASTM F409 AND SCS 606. IT SHALL HAVE A CORRODED INTERIOR AND CORRUGATED EXTERIOR. OPERATIONS SHALL BE PERFORMED WITH SELF-COUPLING STUBS LOCATED AT THE ENDS OF EACH PIPE SECTION. PIPE MATERIAL SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CONFORMING WITH LATEST VERSION OF ASTM D3350; OR ASTM D1248 TYPE III, CLASS C, CATEGORY 4, GRADE P33.



BEFORE YOU DIG: CALL THE PA "ONE CALL SYSTEM"

- BEFORE YOU DIG AT THE SITE IT IS MANDATORY TO CALL THE PENNSYLVANIA "ONE CALL SYSTEM." 1-800-242-1776. ALL CONTRACTORS, INCLUDING SUB-CRONTACTORS, SHOULD MAKE THEIR OWN NOTIFICATION. ONLY THE "CALLER" IS PROTECTED

FIELD OFFICE AND SITE DOCUMENTS

- WITH INITIATION OF WORK ON SITE, THE CONTRACTOR SHALL MAINTAIN A FIELD OFFICE. THIS MAY BE AS SIMPLE AS A FOOT LOCKER IN THE BEGINNING, BUT AS SOON AS POSSIBLE, THIS SHALL BE AN ENCLOSED SECURE ROOM.
- WHENEVER THE WORK IS IN PROGRESS THE FIELD OFFICE SHALL BE ACCESSIBLE TO THE OWNER, ARCHITECT, AND TRADESMEN ENGAGED IN THE WORK. THE SITE OFFICE SHALL CONTAIN THE MOST UP TO DATE DOCUMENTS, SUBMITTALS, MATERIAL SELECTIONS, AND SHOP DRAWINGS. THE PROJECT DOCUMENTS SHALL BE ORGANIZED, COMPLETE, AND CLEAN.
- AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN ONE RECORD SET OF DOCUMENTS WITH ALL AS-BUILT INFORMATION AND CHANGES, MARKED UP IN RED, WHICH SHOW ANY DIFFERENCES FROM THE ORIGINAL DOCUMENTS. AT COMPLETION OF THE WORK, CONTRACTOR SHALL DUPLICATE THE "AS-BUILT" SET AND DISTRIBUTE: 1 SET TO OWNER, 1 SET TO BENSALEM TWP., 1 SET TO ARCHITECT, 1 SET TO THE GC'S FILE.

GEO-TEXTILE SOIL STABILIZATION

- GEO-TEXTILE FABRICS ARE A PROVEN EQUAL TO COMPACTED STONE FOR SUPPORTING OF NORMAL RESIDENTIAL VEHICLE LOADS, CARS AND DELIVERY TRUCKS.
- IN LIEU OF NORMAL 4" "BALLAST" STONE, SUBSTITUTE DUPONT™ TYPAR® SF. USE PER MFG'S RECOMMENDATIONS. THIS IS A THERMALLY BONDED NONWOVEN GEOTEXTILE, MADE OF 100% POLYPROPYLENE WHICH IS DESIGNED TO HAVE A COMBINATION OF A HIGH INITIAL MODULUS (STIFFNESS), HIGH ELONGATION (TYPICALLY > 50%) AND OUTSTANDING UNIFORMITY, TO GIVE SUPERIOR PERFORMANCE, IN ALL DIRECTIONS. RESISTS DAMAGE DURING INSTALLATION
- THIS IS ALSO EXCELLENT UNDER PATIOS USING STONE OR BRICK PAVERS.

1
3

PROPOSED ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"

| REV. # | REVISION DESCRIPTION | DATE |
|--------|--|------------|
| 1 | START UP | 07-22-2008 |
| 2 | FINAL PRELIMINARY REVIEW FOR PERMIT SUBMISSION | 12-11-2008 |
| 3 | REVISED FOR APRIL ZONING | 01-05-2009 |
| 4 | UPDATED | 04-22-2009 |
| 5 | REVISIONS PER PERMIT REVIEW | 05-10-2009 |

NOT VALID FOR PERMITS UNLESS AFFIXED WITH EMBOSSED SEAL & ORIGINAL SIGNATURE IN RED

Eric C. Van Reed, Architect
Creative Design Associates, Inc.
 ARCHITECTURE INTERIORS SITE & SPACE PLANNING
 350 Callowhill Road
 Chambersburg, PA 17014
 Phone: 717-672-1155
 www.ArchitectVision.com

639 Walnut Avenue, East
ADDITIONS & RENOVATIONS
 BENSALEM TWP., BUCKS CO., PA

Sheet No. **3**
 Comm. No. 08-2890 of 14

SEE BENSALEM ZONING BOARD DECISION OF MAY 07, 2009 ALLOWING A FRONT YARD SETBACK OF 13 FEET FROM THE ULTIMATE RIGHT OF WAY LINE

PROPOSED SITE PLAN