

FIELD OFFICE AND SITE DOCUMENTS

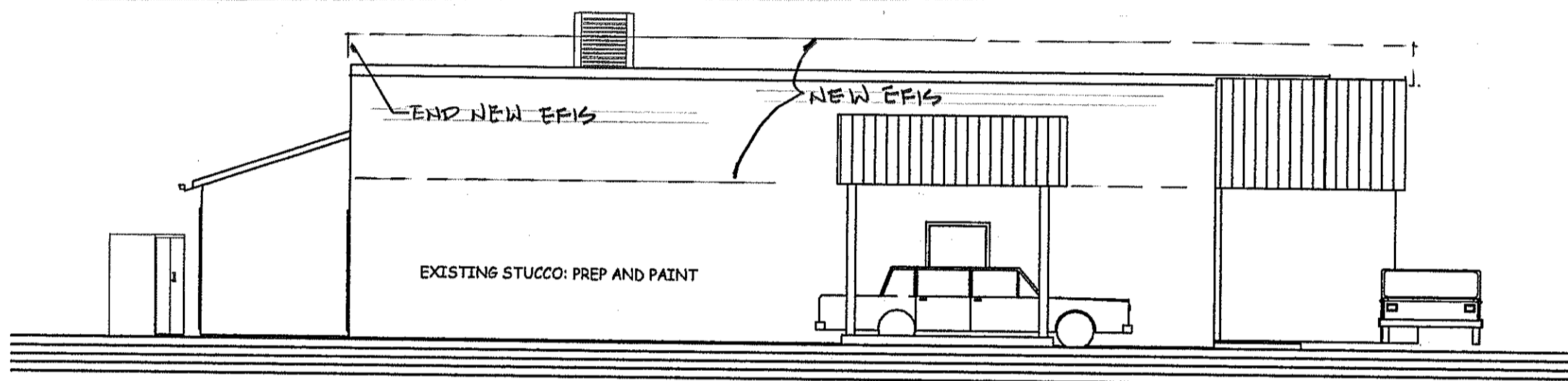
- WITH INITIATION OF WORK ON SITE, THE CONTRACTOR SHALL MAINTAIN A FIELD OFFICE. THIS MAY BE AS SIMPLE AS A FOOT LOCKER IN THE BEGINNING, BUT AS SOON AS POSSIBLE, THIS SHALL BE AN ENCLOSED SECURE ROOM.
- WHENEVER THE WORK IS IN PROGRESS THE FIELD OFFICE SHALL BE ACCESSIBLE TO THE OWNER, ARCHITECT, AND ALL TRADESMEN ENGAGED IN THE WORK. THE SITE OFFICE SHALL CONTAIN THE MOST UP TO DATE DOCUMENTS, SUBMITTALS, MATERIAL SELECTIONS, AND SHOP DRAWINGS. KEEP THE PROJECT DOCUMENTS ORGANIZED, COMPLETE, & CLEAN.
- AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN ONE RECORD SET OF DOCUMENTS WITH ALL AS-BUILT INFORMATION AND CHANGES, MARKED UP IN RED, WHICH SHOW ANY DIFFERENCES FROM THE ORIGINAL DOCUMENTS. AT COMPLETION OF THE WORK, CONTRACTOR SHALL DUPLICATE THE "AS-BUILT" SET AND DISTRIBUTE: 1 SET TO OWNER, 1 SET TO ARCHITECT, 1 SET TO THE GC'S FILE.

GENERAL NOTES:

- PROJECT GUARANTEE:** THE CONTRACTOR(S) AND ALL SUBCONTRACTORS UNDER HIS RESPONSIBILITY SHALL GUARANTEE ALL WORKMANSHIP AND MATERIAL FOR A MINIMUM OF ONE YEAR AFTER DATE OF SUBSTANTIAL COMPLETION. WITHIN THE ONE-YEAR GUARANTEE PERIOD, THE CONTRACTOR SHALL REMAIN RESPONSIBLE TO THE OWNER FOR PROMPT AND DILIGENT REPAIR OR REPLACEMENT OF FAILED MATERIALS AND OR WORKMANSHIP. COMPONENTS, EQUIPMENT AND INSTALLATIONS THAT ARE PROTECTED WITH EXTENDED MANUFACTURER'S WARRANTIES SHALL BE IDENTIFIED TO THE OWNER. THE OWNER SHALL RECEIVE RECEIPTS AND VALIDATED WARRANTY REGISTRATIONS DEMONSTRATING THESE EXTENDED PROTECTIONS. TITLE TO ALL EQUIPMENT AND COMPONENTS WITH WARRANTIES SHALL BE MADE IN THE OWNER'S NAME.
- QUALITY OF WORKMANSHIP AND MATERIALS:** THE CONTRACTOR(S) AGREES HE SHALL ENGAGE WORKMEN EXPERT IN THEIR RESPECTIVE TRADES WHOSE WORK SHALL COMPLY WITH THE HIGHEST STANDARDS OF THEIR RESPECTIVE TRADE ASSOCIATIONS. IT IS UNDERSTOOD THE ARCHITECT HAS NOT DETAILED OR SPECIFIED ALL ASPECTS OF THE WORK WHICH ARE A "COMMONLY UNDERSTOOD CONSTRUCTION PRACTICE". IF INTERPRETATIONS OR CLARIFICATIONS ARE REQUIRED, THE CONTRACTOR(S) SHALL SECURE SUCH INFORMATION FROM THE ARCHITECT OR THE OWNER BEFORE PROCEEDING.
- CONSTRUCTION DEBRIS:** ALL CONSTRUCTION MATERIAL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE GC. DAILY CLEANUP SHALL BE IN CONTAINERS OR DUMPSTERS MAINTAINED BY THE GC. DO NOT BURY OR BURN ANY MATERIAL AT THE SITE.
- SITE SAFETY:** THE GENERAL CONTRACTOR GAINS COMPENSATION FOR ORGANIZING AND EXECUTING THE WORK AT THE SITE. THUS, THE GC IS RESPONSIBLE FOR ALL SITE SAFETY PRECAUTIONS AND ALL SITE SUPERVISION.

BEFORE YOU DIG: CALL THE PA "ONE CALL SYSTEM"

- BEFORE YOU DIG AT THE SITE IT IS MANDATORY TO CALL THE PENNSYLVANIA "ONE CALL SYSTEM." 1-800-242-1776. ALL CONTRACTORS, INCLUDING SUB-CONTRACTORS, SHOULD MAKE THEIR OWN NOTIFICATION. ONLY THE "CALLER" IS PROTECTED BY THE SYSTEM.



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EXISTING WEST ELEVATION

ROOFING

- THE ROOFING WORK IS LIMITED. THE MAIN ROOF "FIELD" IS TO BE UNDISTURBED. THE PERIMETERS ARE BEING REPAIRED AS REQUIRED TO TRANSITION TO THE CANOPY WORK. ALSO, THE REMAINING RAW EDGES FROM THE FIRE ABATEMENT WORK ARE BEING COMPLETED.
- NEW METAL ROOFING IS ADDED AT THE CENTER FOR A DECORATIVE FEATURE.
- GENERAL CLEAN UP: REMOVE ANY AND ALL WIRES, DEVICES, CONDUIT, ETC. WHICH REMAIN FROM THE FIRE, AND OR IS NOT IN CURRENT ACTIVE USE BY A TENANT. REMOVE ALL DEBRIS, TRASH, ETC. FROM ENTIRE ROOF, THIS PROJECT OR ANY PRECEDING. REAPPORTION THE EXISTING BALLAST STONE TO BE MOST EFFECTIVE IN CONTINUING MAINTENANCE.
- PROTECTIONS: PROVIDE TEMPORARY ROOF WALKWAYS AS THE WORK IS STAGED ACROSS THE FACE OF THE BUILDING. MAKE SURE THE ROOF MEMBRANE IS PROTECTED AND THE CONSTRUCTION TEAM UNDERSTANDS WHAT IS IN PLACE, AND WHERE AND HOW TO ACCESS THE ROOF PROPERLY.
- SHOP DRAWINGS: FOR BOTH NEW METAL AND EXISTING BALLASTED MEMBRANE, CONTRACTOR SHALL PREPARE DETAILED DRAWINGS, ILLUMINATING HOW ALL FIELD AND TRANSITIONS (EDGES, CORNERS, TERMINATIONS) SHALL BE INSTALLED. SHOP DRAWINGS SHALL BE PRESENTED TO ARCHITECT FOR REVIEW, AND OWNER FOR VALUE ENGINEERING APPROVAL. NO WORK SHALL BEGIN WITHOUT OWNER AND ARCHITECT APPROVAL.

"EIFS" SYSTEM: (Exterior Insulation and Finishing System)

- EIFS IS USED AS A COVERING AND AESTHETIC FINISHING SYSTEM ONLY. IT ADDS NO INSULATION VALUE TO THE BUILDING, EXCEPT FOR A NEGLIGIBLE AREA ALONG THE WEST END.
- SHOP DRAWINGS: CONTRACTOR SHALL PREPARE DETAILED DRAWINGS, ILLUMINATING HOW ALL FIELD AND TRANSITIONS (EDGES, CORNERS, TERMINATIONS) SHALL BE INSTALLED. SHOP DRAWINGS SHALL BE PRESENTED TO ARCHITECT FOR REVIEW, AND OWNER FOR VALUE ENGINEERING APPROVAL. NO WORK SHALL BEGIN WITHOUT OWNER AND ARCHITECT APPROVAL.

- FIRE ALARM SYSTEMS: NO WORK IN ANY OCCUPIED SPACE, NO WORK ON ANY FIRE ALARM SYSTEMS.
- SPRINKLER SYSTEM: NO WORK, THIS BUILDING IS NOT SPRINKLED.
- TRUSS DRAWINGS: THE WORK DOES NOT REQUIRE REVIEW OF ANY OFF-SITE MANUFACTURED STRUCTURAL COMPONENTS.

2009 INTERNATIONAL EXISTING BUILDING CODE

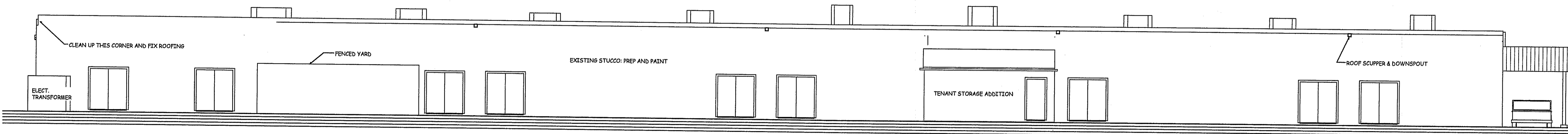
IN GENERAL, THE EXISTING BUILDING CODE SAYS: "WHATEVER YOU BUILD NEW, AND/OR WHAT EVER YOU SIGNIFICANTLY CHANGE, AND WHERE EVER YOU HAVE A CHANGE OF OCCUPANCY (USE GROUP), THEN ALL NEW AND REPAIR WORK WILL COMPLY WITH THE FUNDAMENTAL "INTERNATIONAL BUILDING CODE," THERE ARE SOME "EXCEPTIONS."

RELIEF FROM INCREASED STRUCTURAL DESIGN LOADS AND SEISMIC;

RELIEF FROM SOME PARTS OF THE ENERGY CODE

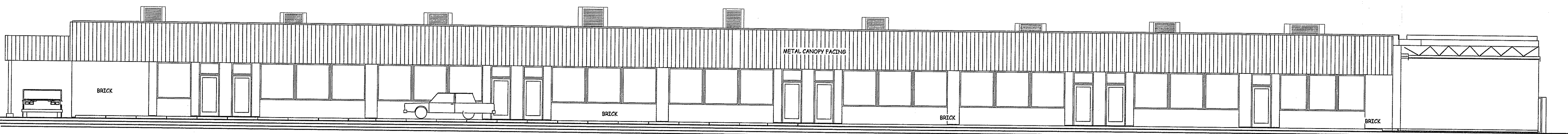
VERY LITTLE RELIEF FROM REQUIREMENTS FOR "ACCESSIBILITY" (ADA RESTROOMS, ADA DRINKING FOUNTAIN, ADA ENTRANCE, ADA PARKING AND PATH TO ENTRANCE)

REV. #	REVISION DESCRIPTION
SEC 202	ALTERATION IS ANY CONSTRUCTION OTHER THAN A REPAIR OR AN ADDITION.
SEC 302.1	EXISTING BUILDINGS OR STRUCTURES. ADDITIONS SHALL COMPLY WITH THE IBC FOR NEW CONSTRUCTION. ALTERATIONS SHALL BE MADE TO ENSURE THAT THE EXISTING BUILDING IS NO LESS CONFORMING WITH THE IBC THAN BUILDING WAS PRIOR TO ALTERATION. ADDITIONS TO EXISTING BUILDINGS SHALL COMPLY WITH THE HEIGHT AND AREA LIMITATIONS OF THE IBC.
SEC 303.1	ALTERATIONS SHALL CONFORM TO THE CURRENT "IBC" REQUIREMENTS FOR A NEW STRUCTURE.
SEC 303.6	MEANS OF EGRESS: ALTERATIONS SHALL NOT BE SUBJECT TO THE WIDTH FACTORS OF THE IBC. MINIMUM EGRESS WIDTHS SHALL BE BASED ON THE BUILDING CODE UNDER WHICH THE BUILDING WAS CONSTRUCTED.
SEC 307	CHANGE OF OCCUPANCY: NO CHANGE SHALL BE MADE IN THE USE OR OCCUPANCY THAT WOULD PLACE THE BUILDING IN A DIFFERENT OCCUPANCY UNLESS THE BUILDING IS MADE TO CONFORM WITH SUCH OCCUPANCY. ALTERATIONS SHALL BE MADE TO ENSURE THAT THE EXISTING BUILDING IS NO LESS CONFORMING WITH THE IBC THAN BUILDING WAS PRIOR TO ALTERATION. ADDITIONS TO EXISTING BUILDINGS SHALL COMPLY WITH THE HEIGHT AND AREA LIMITATIONS OF THE IBC.
SEC 310	ACCESSIBILITY FOR EXISTING BUILDINGS: THESE PROVISIONS APPLY TO MAINTENANCE, CHANGE OF OCCUPANCY, ADDITIONS AND ALTERATIONS, INCLUDING HISTORIC. A BUILDING OR FACILITY ONCE MADE ACCESSIBLE SHALL REMAIN ACCESSIBLE.
SEC 310.6	THE ALTERATION OF A BUILDING OR FACILITY SHALL COMPLY WITH CHAPTER 11 OF THE IBC AND THE ICC A117.1, UNLESS TECHNICALLY INFEASIBLE. EXCEPTION: THE ACCESSIBLE MEANS OF EGRESS REQUIRED BY CHAPTER 10 OF THE IBC ARE NOT REQUIRED.
SEC 310.7	ALTERATIONS TO AN AREA OF "PRIMARY FUNCTION" WHERE AN ALTERATION AFFECTS THE ACCESSIBILITY TO AN AREA OF PRIMARY FUNCTION, THEN THE ROUTE OF THE PRIMARY FUNCTION SHALL INCLUDE TOILET FACILITIES OR DRINKING FOUNTAINS SERVING THE AREA OF PRIMARY FUNCTION. EXCEPTIONS: THE COST OF PROVIDING THE ACCESSIBLE ROUTE ARE NOT REQUIRED TO EXCEED 20% OF THE COSTS OF THE ALTERATIONS AFFECTING THE AREA OF PRIMARY FUNCTION. THIS PROVISION DOES NOT APPLY TO ALTERATIONS LIMITED SOLELY TO WINDOWS, HARDWARE, OPERATING CONTROLS, ELECTRICAL OUTLETS AND SIGNS. ALSO, THIS DOES NOT APPLY WHEN ALTERATIONS ARE LIMITED TO HVAC SYSTEMS, ELECTRICAL SYSTEMS, OR FIRE PROTECTION SYSTEMS.
SEC 310.8	ALTERATIONS SHALL INCLUDE: AN ACCESSIBLE ENTRANCE. AN ACCESSIBLE ROUTE FROM PARKING, BUILDING APPROACH, AND BUILDING (TENANT) ENTRANCE. ACCESSIBLE SIGNAGE AT PRIMARY ENTRANCE AND ALONG ACCESSIBLE ROUTE, RESTROOMS.
SEC 401.1	CLASSIFICATION OF WORK:
SEC 403	ALTERATION - LEVEL 1: THIS IS REMOVAL AND REPLACEMENT OF EXISTING FINISHES AND EQUIPMENT USING NEW THAT SERVE THE SAME PURPOSE. COMPLY WITH CHAPTER 6. NON STRUCTURAL ALTERATIONS MAY BE MADE OF THE SAME MATERIALS AS ARE EXISTING IN THE BUILDING, PROVIDED THEY DO NOT REDUCE THE STRUCTURAL OR FIRE RESISTANT RATING OF ANY PART OF THE STRUCTURE. ENERGY: DO THE BEST YOU CAN IN NON-ALTERED STRUCTURES. FOR ADDITIONS, DO AS CODE REQUIRES. CHANGE OF OCCUPANCY: NO CHANGES OF "USE GROUP" ARE ALLOWED UNLESS THE ALTERED STRUCTURE IS MADE TO CONFORM TO THE CURRENT "IBC" REQUIREMENTS OF THE DIFFERENT USE GROUP. REPAIRS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS. ACCESSIBILITY: EXCEPTION 2. AN ACCESSIBLE MEANS OF EGRESS AS REQUIRED BY CHAPTER 10 OF THE IBC ARE NOT REQUIRED TO BE PROVIDED IN EXISTING BUILDINGS AND FACILITIES.



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EXISTING REAR ELEVATION (NORTH)



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EXISTING FRONT ELEVATION (SOUTH)

SCALE 1/8" = 1'-0"

DATE	REVISION DESCRIPTION
NOV. 01, 2011	INTRO & START UP
APRIL 30, 2012	PERMIT SUBMISSION
MAY 04, 2012	UP DATE

ONLY VALID FOR PERMITS w/ EMBOSSED SEAL & ORIGINAL "RED" SIGNATURE

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